



Republic of Serbia
The City of Kragujevac

Mayor Radomir Nikolic

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www.gateofeurope.rs

- Location: South East Europe, central part of the Balkan Peninsula
- Population: 7,1 million inhabitants
- Area: 88,407 km²
- Optimal Geographic Location
- Excellent logistic connections

- Political and Economic Stability
 - » On WB Doing Business List, Serbia moved up by 44 places over the past 2 years, and is now ranked 47th globally.
 - » Serbia has continued its path toward EU membership: EU negotiation process officially started, ready for accession by 2020.

- Availability of High Quality Labor
 - » 506 High Schools
 - » 5 University Centers
 - » Language Proficiency English 86%

Source: Business English Index, Global English Corporation, 2012

- Competitive Operating Cost
 - » Cost Savings vs EU-28 Average Labor 84% savings
 - Electricity, Gas and Other Fuels 58% savings
 - Transport Services 43% savings
 - Office Space Rental 32% savings

- Customs Free Access s to 1.1bn Consumers
 - » EU 506.8mn Consumers
 - » Russia, Kazakhstan, Belarus 171.1mn Consumers
 - » CEFTA 20.1mn Consumers
 - » Turkey 76.7mn Consumers
 - » EFTA 13.6mn Consumers
 - » US 321.4mn Consumers
 - » No visas for 2,5 billion inhabitants from over 90 countries, including China

TYPICAL MONTLY SALARIES GROSS

Minimal salary	362\$*
Average blue collar salary	568\$*
Average white collar salary	1042\$*
Working week	40h
Overtime	8h/week 4h/day
No. of shifts	max 3
VAT	20%
Corporate profit tax	15%

UTILITIES	
Electricity cost	0,067 \$/kW
Gas cost	0,47 \$/m3
Water cost	0,67 - 1,45 \$/m³

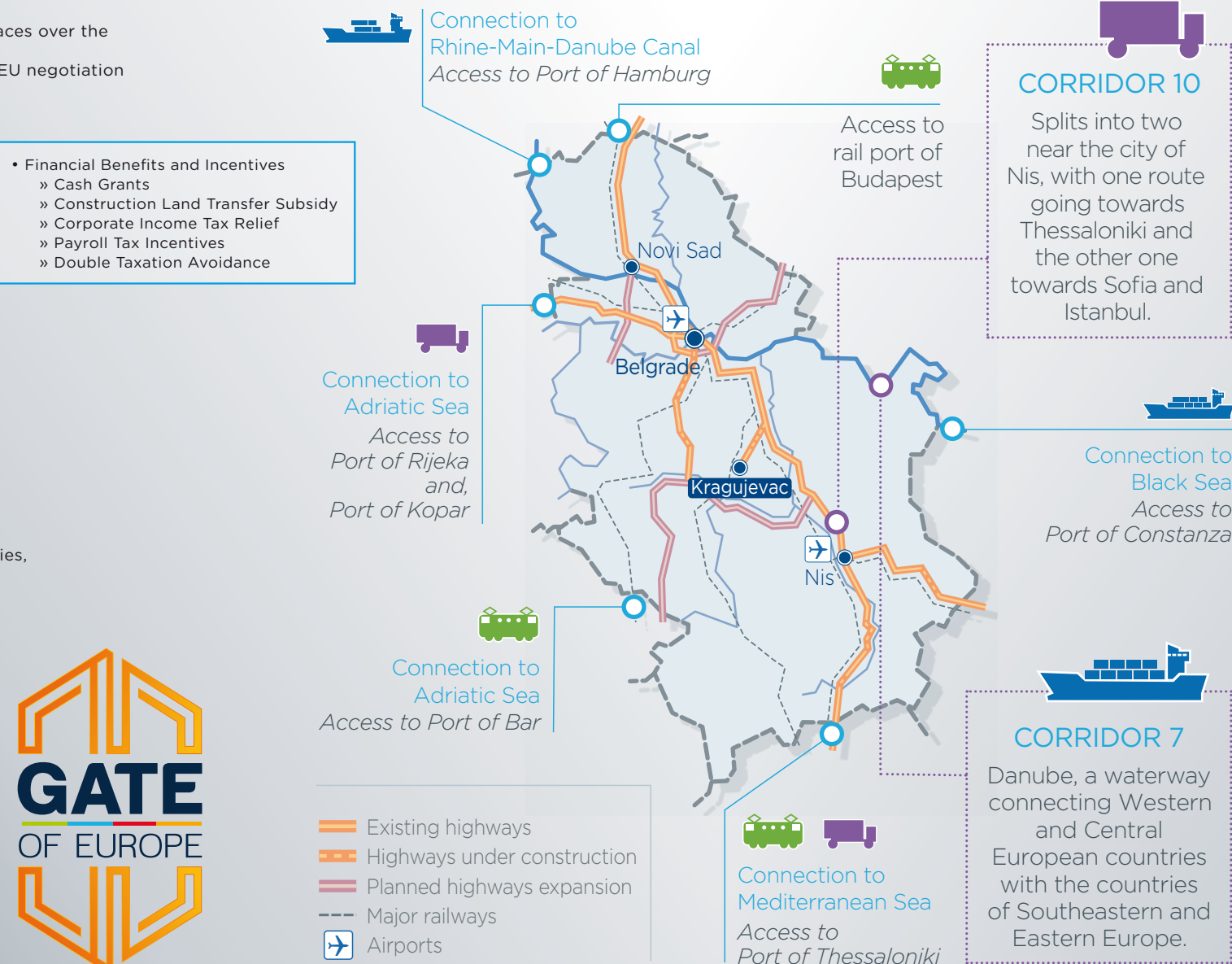
BUILDING	
Average building cost	450 \$/m²

REPUBLIC OF SERBIA

INVESTMENT GATE OF EUROPE

塞尔维亚共和国

欧洲之门投资



Source: Development Agency of Serbia

来源: Development Agency of Serbia

- 地理位置：东南欧洲，巴尔干半岛的中部
- 人口：7.1 百万居民
- 面积：88,407平方公里
- 良好的地理位置
- 非常好的物流连接

- 政治和经济的稳定
 - » 在世界银行营商环境排名中，塞尔维亚在过去两年上升了44个位置，现在全球排名第47位。
 - » 塞尔维亚继续走向欧盟成员国的道路：欧盟谈判进程已经正式开始，到2020年准备加入。

- 高品质劳动力的可用性
 - » 506 所中学
 - » 5所大学
 - » 语言能力英文86%

来源: Business English Index, Global English Corporation, 2012

- 竞争性运营成本
 - » 成本节约与欧盟-28平均劳工节省84%
 - 电力，燃气和其他燃料节省58%
 - 运输服务节省43%
 - 办公空间租赁节省32%

- 海关免费进入11亿消费者
 - » 欧盟506.8百万消费者
 - » 俄罗斯，哈萨克斯坦，白俄罗斯171.1百万消费者
 - » 中部欧洲自由贸易区（CEFTA）20.1百万消费者
 - » 土耳其76.7百万消费者
 - » 欧洲自由贸易联盟（EFTA）13.6百万消费者
 - » 美国321.4百万消费者
 - » 来自90多个国家的25亿居民免签，包括中国

一般月总薪酬

最低薪酬	362美元*
平均蓝领薪酬	568美元*
平均白领薪酬	1042美元*
工作周	40小时
加班	8小时/周 4小时/天
班次	最多 3
增值税	20%
企业利润税	15%

公共设施	公共设施
电费	0,067 美元/千瓦
燃气费	0,47 美元/m3
水费	0,67 - 1,45 美元/ m3

建筑	
平均建筑成本	450 美元/m2

- 财务福利和奖励
 - » 现金补助
 - » 建设用地补助费
 - » 企业所得税减免
 - » 薪资税激励措施
 - » 双重避税

Food Road

Logistic Center



食品之路

物流中心



Logistic Centre is a meeting spot of knowledge, excellence, experience and information. It is a place for planning processes, implementations and controlling of the efficiency of the raw materials flows and stock on hand, semi products in the production process, finished products and information correlation from the source to the consumption.

Serbia is a gate of Europe, crossroad of all European roads, connection between East and West, Asia – Central and Western Europe, Centre of the Balkans, it connects with its rivers 10 European countries and the rest of the world by the seaways over the Black Sea basin.

Existence of the complete data base of all information sources and logistic support of the agriculture producers including primary and processing production in the neighborhood.

International cooperation with world, European and regional association in cattle breeding, fruit and crop production, as well as honey production.

Substantial potentials in existence for all segments of agricultural production and development, application of high standards in production and long tradition in the production with worldwide recognizable quality of the products.

物流中心是一个结合了专业知识，核心技术，经验和信息的地方。操作过程的规划，对原材料流动与。库存的操作与管理，生产过程中的半成品，成品以及从生产到消费点对点的相关信息都在物流中心实现。

塞尔维亚是通往欧洲的门户，是欧洲线路的十字路口，东接中亚，西连西欧。塞尔维亚位于巴尔干半岛的中心，也因此通过连绵的河道将十个欧洲国家和世界相连。

现有的完整的数据库，拥有包括从初级到大型制造业农业主体的信息和后勤支持。

国际协作跟欧洲和区域协会在畜牧，果园和农业以及蜂蜜生产方面的合作。

由于生产中对环境高标准的要求，传统且历史悠久的生产方式与独一无二的产品，令农业生产和发展的各个方面都存在巨大的潜力。



www.gateofeurope.rs



Valter Studios

Production Facility



瓦尔特电影制片厂

生产设备



According to the creative director of the project, famous movie director, Emir Kusturica:

"Walter studios, Cultural Gate of Europe in Serbia, will welcome film makers from all over the world.

Step into through this Gate and you will always be coming back and sharing your film and production with a great human resources that we have in heritage from ex Yugoslavia and people who know how to make cinema."

The most modern production facility in the heart of Europe on 15ha, with optimal construction and operating costs.

根据该项目的创意总监，著名的电影导演，埃米尔·库斯图里察：

瓦尔特电影制片厂，欧洲文化之门在塞尔维亚，欢迎世界各地的电影制作人。

请您进入这个门，而您会永远回头并分享您的电影以及制作跟源于前南斯拉夫巨大的人力资源以及会制作电影的人。

最现代的生产设备在欧洲之心，面积为15公顷，最佳建设和运营成本。



Dragon Land

Amusement Park



龙之地 游乐园

“Bring the Chinese fun
to the Gate of Europe”

“把中国娱乐带到欧洲之门”

Construction of DragonLand Amusement Park represents capital investment project based on numerous advantages and opportunities for development of tourism and fan industry in the Southeast Europe (SEE).

- No amusement parks within 600 km radius from the Central Serbia
- Favorable climate – 200 sunny days per year
- Potential beneficiaries 70 million people
- No visas for 2,5 billion inhabitants (including China)

One of the following options for this project:
Purchase of the city construction land
Public – private partnership

Potential project income:
» Minimal attendance 500.000 people per year
» Daily price card on average 20\$
» Minimal profit from cards 10.000.000\$
» Minimal profit from meals 2.500.000\$

Total minimal annual income 12.500.000\$

Potential costs of the project:
» Costs of land purchase 2.800\$ / a
» Costs of building construction 435\$ / m2
» Feasibility study costs average 20.000\$
» Construction permits
» Equipment and furniture costs (park size)
» DragonLand Amusement Park promotion costs
» Average gross salary 476\$ per month

Tailor made offer on request. Take over leadership role in amusement industry in SEE



根据东南欧洲的旅游业及娱乐业发展的好处和机会，建设龙之地游乐园是主要的投资项目。

在塞尔维亚的中部**600公里**范围内没有游乐园
良好的气候 - 一年内**200**晴天
潜在客户**7000**万人
免签**25**亿人（包括中国）

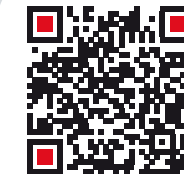
该项目有以下选项：
购买城市建设用地
公私伙伴关系

潜在的项目收入：
» 一年内最低出席**50**万人
» 一天票平均**20**美元
» 票最低的利润**一千万**美元
» 膳食最低利润**250万**美元

一年内最低收入总额**1250万**美元

项目的潜在费用：
» 土地购买成本**2800**美元/公亩
» 建筑施工成本**435**美元/平方米
» 可行性研究费用平均**2万**美元
» 施工许可证
» 设备和家具成本（公园规模）
» 龙之地游乐园推广费用
» 一个月平均总薪酬**476**美元

根据要求可以量身定制报价。接管娱乐行业的领导角色在东南欧洲。



Phoenix

Industrial Park



凤凰
工业园



Project for Growth

经济增长项目

Very attractive land at the entrance to the city, planned for development of the industrial zone. The location is directly connected to the highway. Close to this location is a part of the University and the City Fair.

Location: "Phoenix"
Land area - total: 42 ha

Land area - free: 42 ha
Maximum area for construction: 205.000 m²
Property: city
Land purpose: industrial and work zones

Max floor: Po+P+2
Construction Index: 1,2-1,6
Occupancy Index: 60%
Tehnological part: max 20%
Green area: min 20%

The most attractive investment destination in central Serbia

Favorable geographical position and location advantage with easy access to City center

Sufficient and stable power supply

Good basic infrastructure - water, sewage, gas, electricity, internet, etc.

Sufficient labor supply

Local government with efficient administration is in the service of business development.



位于城市入口的地皮，是为工业发展用途所规划，极具吸引力。位置绝佳，直通高速。此地靠近大学城与城市商品交易会

地理位置：“凤凰城”
土地面积-总共：42公顷

土地面积-可用：42公顷，
建筑面积：205000平方米，
土地所有权：城市的房地长
土地用途：工业用地和工作区

最大楼层：地下室 加上一楼加上两层楼（Po+P+2）
建筑指数：1,2 - 6
占用指数：60%
技术特徵：最多20%
绿地面积：最少20%

塞尔维亚中部最具吸引力的投资目的地

最佳地理位置和区位优势，以及直达市中心的便利交通

充足和稳定的电力供应

良好的基础设施：生活用水，排污功能，煤气，电力，互联网等

劳动力充足

地方政府将以高效的管理致力于服务企业的发展。

